

Town of Berryville
Berryville-Clarke County
Government Center
101 Chalmers Court Suite A
Berryville, VA 22611



[T] 540/955-1099
[F] 540/955-4524
[E] info@berryvilleva.gov

www.berryvilleva.gov

**Town of Berryville
ARCHITECTURAL REVIEW BOARD
Called Meeting**

Thursday, September 20, 2018 - 12:30 p.m.

101 Chalmers Court - Meeting Room AB – Second Floor

AGENDA

1. Call to Order – Jim Barb, Chair

2. Approval of Agenda

3. Approval of Minutes – NONE

4. Architectural Review

William Murry requests a Certificate of Appropriateness for a 24' x 24' garage at 200 East Main Street, identified as Tax Map Parcel number 14A2-((A))-133, zoned R2 Residential.

5. Sign Review

Darren Ridgeway of Ridgeway's Autobody requests a Certificate of Appropriateness for a double-sided free-standing internally lit sign, a wall sign, and a window sign at 15 & 19 North Buckmarsh Street, identified as Tax Map Parcels number 14A1-((A))-53 & 54, zoned C General Commercial.

6. Discussion

The County of Clarke requests that the Architectural Review Board review and provide comment on benches that it proposes to install at 104 North Church Street, identified as Tax Map Parcel 14A2-((A))-66, zoned C General Commercial.

Patricia Dickinson
Mayor

Harry Lee Arnold, Jr.
Recorder

Donna Marie McDonald
Ward 1

Diane Harrison
Ward 2

Council Members

Erecka L. Gibson
Ward 3

Kara C. Rodriguez
Ward 4

Keith R. Dalton
Town Manager

Town of Berryville
Berryville-Clarke County
Government Center
101 Chalmers Court Suite A
Berryville, VA 22611



[T] 540/955-1099
[F] 540/955-4524
[E] info@berryvilleva.gov

www.berryvilleva.gov

7. Other

8. Adjourn

Patricia Dickinson
Mayor

Harry Lee Arnold, Jr.
Recorder

Council Members

Donna Marie McDonald
Ward 1

Diane Harrison
Ward 2

Erecka L. Gibson
Ward 3

Kara C. Rodriguez
Ward 4

Keith R. Dalton
Town Manager

William Murry requests a Certificate of Appropriateness for a 24' x 24' garage at 200 East Main Street, identified as Tax Map Parcel 14A2-((A))-133, zoned R2 Residential.

Mr. Murry proposes to construct a 24' x 24' garage north of the primary structure on the site. The proposed building would have:

- Silver metal roof to match the primary structure
- Board and batten exterior painted to match the house

Please find attached a plans for the proposed garage and photos of the property in question.

Other Conditions:

This Sign Permit is approved () denied () for the sign described on the property indicated above. If denied, for the following reason(s):

Signature of Zoning Administrator:

TOWN OF BERRYVILLE

101 CHALMERS COURT, SUITE A * BERRYVILLE VA 22611

Phone (540) 955-4081 * Fax (540) 955-4524 - E-mail: planner@berryvilleva.gov

ARCHITECTURAL REVIEW BOARD APPLICATION

Please note: This is an application only. The permit will be issued only if approved by the Zoning Administrator and after review and recommendation from the Architectural Review Board.

To be completed by Applicant:

Date 8/30/2018, 20

Applicant's Name: WILLIAM MURRY

Company/Organization:

Applicant's Address: 200 E. MAIN ST.

Telephone Number: [REDACTED] e-mail: [REDACTED]

As the X legal owner legal representative of the owner of the property for which this application is being made, I hereby grant my permission to the applicant to apply to the Architectural Review Board. I am familiar with the project and permit the applicant to complete any necessary work for which this application is being submitted.

Property Owner's Signature: [Signature]

Property Owner's Address: 200 E. MAIN ST. Telephone: [REDACTED]

Project Location: 200 E. MAIN ST Use: GARAGE Zoning:
District:

Project Type (check all that apply)

New Construction:

Primary Structure (house, commercial building)

☒ Secondary Structure (shed, garage)

Addition to an existing structure:

Primary structure (house, commercial building)

Secondary structure (shed, garage)

Alterations to an existing structure.

Demolition of an existing structure.

Amendments to a previously approved application.

Please describe the request of the application:

(OVER)

Submittals

Drawings -- six (6) scale copies of elevations of proposed structures or modifications.

Site Plan -- six (6) scale copies of site modifications including building footprints, fence locations, and walkway locations.

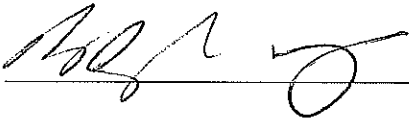
Material/color samples or illustrations as applicable including but not limited to cut sheets of new windows, doors, roof materials (shingles, standing seam metal, etc.), and outdoor lighting fixtures.

Photographs of existing structure (if applicable) and site conditions.

For a demolition project, please submit photographs depicting all elevations of the building proposed for demolition, any post-demolition plans for the site, and, if applicable, any information on new construction proposed for the site.

Any additional information deemed necessary by Planning Department staff.

Signature of Applicant:



Date: 8/30/2018

TO BE COMPLETED BY ZONING ADMINISTRATOR

Street Address:

Tax Map #:

Zoning Designation:

Applicable Regulations:

Other Conditions:

This Sign Permit is approved () denied () for the sign described on the property indicated above. If denied, for the following reason(s):

Signature of Zoning Administrator:

Keith Dalton

From: William Murry <[REDACTED]>
Sent: Tuesday, September 11, 2018 1:07 PM
To: Keith Dalton
Subject: 200 east main st. garage

Hi Keith,

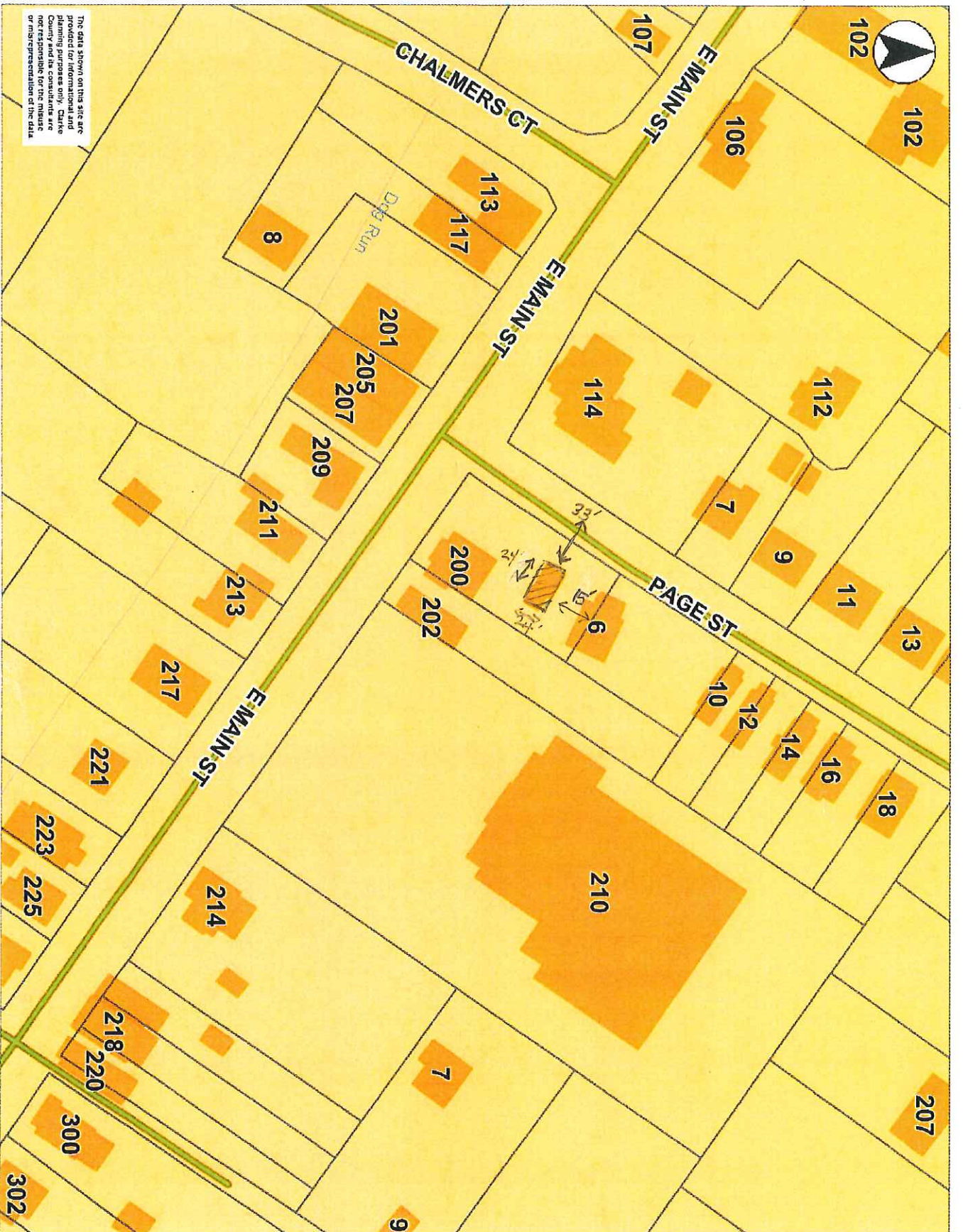
Thanks for your call earlier today. Here are some of the details about the design of the garage.

- Board and batten exterior- color and trim to match house
- Silver tin roof- to match standing seam roof on the house

If you have any other questions please feel free to let me know. Thanks again!

-Bill Murry

Sent from Mail for Windows 10



The data shown on this site are for informational purposes only. Clarke County and its consultants are not responsible for the release or misrepresentation of the data.

0 120 240 ft

Printed on 08/28/2018 at 08:08 AM

Clarke County MapsOnline

BOARD AND BATTEN STYLE
SILVER METAL JOINTS TO MATCH THE SURROUNDING



- Public
- Points of Interest
- Parcels
- Towns
- Clarke County Boundary
- Major Roads
- Interstate
- US Highway
- Surrounding Counties Ops
- Clarke County Roads
- Private Roads
- Rail
- Buildings
- Appalachian Trail
- Streams
- Perennial Streams
- Intermittent Streams
- Ponds
- Rivers

RAISED
BANDAGE

24' x 24'

15' OFF TOP
LINE

33' x 24' CEILING
SPEAKER

570 sq ft

Job 16020029B	Truss T24-VA	Truss Type FINK	Qty 1	Ply 1	Stock Trusses 24' Stock Truss Job Reference (optional)
------------------	-----------------	--------------------	----------	----------	--

Universal Forest Products 7.610 s Jan 29 2015 MITek Industries, Inc. Mon Feb 01 11:20:13 2015 Page 1
ID:kwZGdaSQ04lVacs2roupg9yvURI-eglVAVrs36lr8fPDBtYVkuJzuRezflPs8Ut2wzpXj0

0-10-8 6-7-14 12-0-0 17-4-2 24-0-0 24-10-8
0-10-8 6-7-14 5-4-2 5-4-2 6-7-14 0-10-8

Scale = 1:43.9

Plate Offsets (X,Y) - [2:0-4-6,Edge], [4:0-2-8,0-3-0], [6:0-4-6,Edge], [8:0-1-8,0-1-8], [10:0-1-8,0-1-8]

LOADING (psf)	SPACING-	4-0-0	CSI	DEFL.	in (loc)	l/defl	L/d	PLATES	GRIP
TCLL 30.0	Plate Grip DOL	1.15	TC 0.77	Vert(LL)	-0.21 8-10	>999	240	MT20	197/144
TCDL 5.0	Lumber DOL	1.15	BC 0.73	Vert(TL)	-0.32 8-10	>882	180		
BCLL 0.0	Rep Stress Incr	NO	WB 0.52	Horz(TL)	0.09 6	n/a	n/a		
BCDL 5.0	Code IBC2012/TP12007		(Matrix)					Weight: 137 lb	FT = 4%

LUMBER-
TOP CHORD 2x6 SP No.2
BOT CHORD 2x6 SP No.1
WEBS 2x4 SPF No.3

BRACING-
TOP CHORD 2-0-0 oc purlins (2-8-6 max.).
BOT CHORD Rigid ceiling directly applied or 9-9-9 oc bracing.

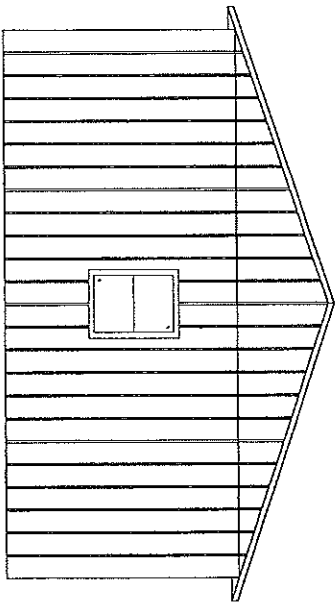
REACTIONS. (lb/size) 2=2081/0-8-0 (min. 0-2-7), 6=2081/0-8-0 (min. 0-2-7)
Max Horz 2=84(LC 14)
Max Uplift 2=375(LC 7), 6=375(LC 8)

FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD 2-3=4451/698, 3-4=3821/603, 4-5=3819/603, 5-6=4451/698
BOT CHORD 2-10=636/4055, 9-10=343/2864, 8-9=343/2864, 6-8=572/4055
WEBS 3-10=997/287, 4-10=162/1173, 4-8=163/1172, 5-8=998/288

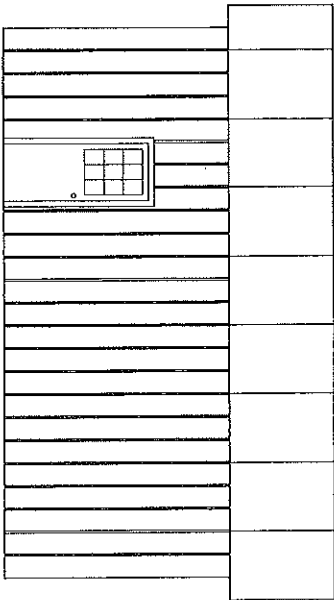
NOTES-
1) Unbalanced roof live loads have been considered for this design.
2) Wind: ASCE 7-10; Vult=115mph (3-second gust) Vasd=91mph; TCDL=3.0psf; BCDL=3.0psf; h=20ft; Cat. II; Exp C; enclosed; MWFRS (envelope); Lumber DOL=1.33 plate grip DOL=1.33
3) TCLL: ASCE 7-10; Pr=30.0 psf (roof live load; Lumber DOL=1.15 Plate DOL=1.15); Pg=40.0 psf (ground snow); Ps=31.5 psf (roof snow; Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp C; Partially Exp.; Ct=1.2; Unobstructed slippery surface
4) Roof design snow load has been reduced to account for slope.
5) Unbalanced snow loads have been considered for this design.
6) This truss has been designed for greater of min roof live load of 12.0 psf or 1.00 times flat roof load of 33.6 psf on overhangs non-concurrent with other live loads.
7) Dead loads shown include weight of truss. Top chord dead load of 5.0 psf (or less) is not adequate for a shingle roof. Architect to verify adequacy of top chord dead load.
8) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) except (jt=lb) 2=375, 6=375.
9) This truss is designed in accordance with the 2012 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
10) See Standard Industry Piggyback Truss Connection Detail for Connection to base truss as applicable, or consult qualified building designer.
11) Graphical purlin representation does not depict the size or the orientation of the purlin along the top and/or bottom chord.

LOAD CASE(S) Standard

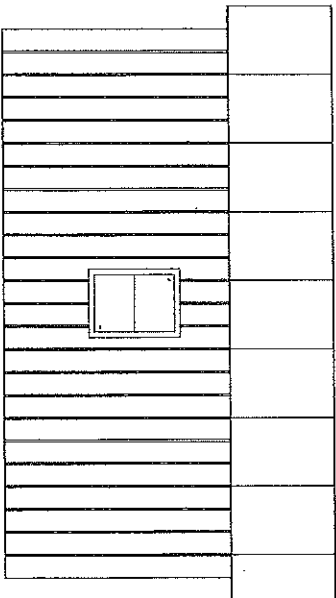
Contract # 349637-003



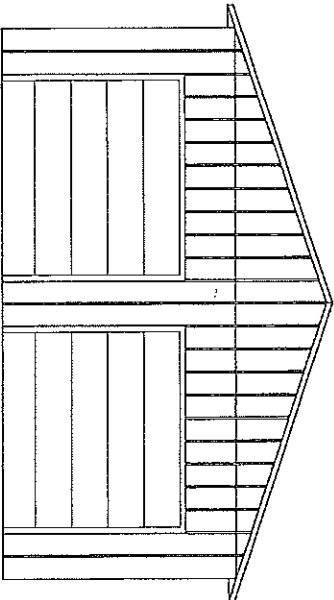
GABLE #1



EAVE #2



EAVE #1



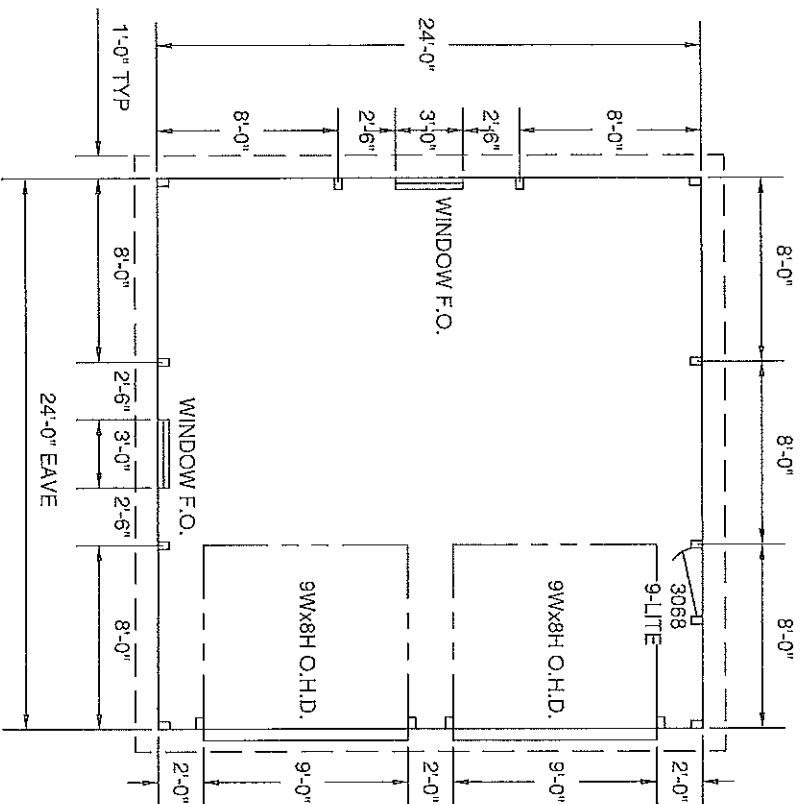
GABLE #2

Revisions:

PPB, Inc.		JOB SITE ADDRESS:		CUSTOMER ADDRESS:		DATE: 8-13-18	
Pioneer Pole Buildings, Inc.		SAME		WILLIAM MURPHY		SHEET: Elevations	
716 South Rt. 183				200 E. MAIN STREET		DRAWN BY: James A. Koppelman, P.E.	
Schuylkill Haven, PA 17972				BERRYVILLE, VA 22611		CHECKED BY: Heidi Klock	
1-888-448-2505 Toll Free				703-209-5085		JOB NUMBER: MURRAY-1	
						BUILDING SIZE: 24X24X10'-4"	

HOUSE

Contract # 349637-003



ROAD

Revisions:

PPB, Inc.

Pioneer Pole Buildings, Inc.

716 South Rt. 103

Schuylkill Haven, PA 17972

1-800-448-2505 Toll Free

JOB SITE ADDRESS:

SAME

CUSTOMER ADDRESS:

WILLIAM MURPHY

200 E. MAIN STREET

BERRYVILLE, VA 22811

703-209-5095

DATE: 8-13-18

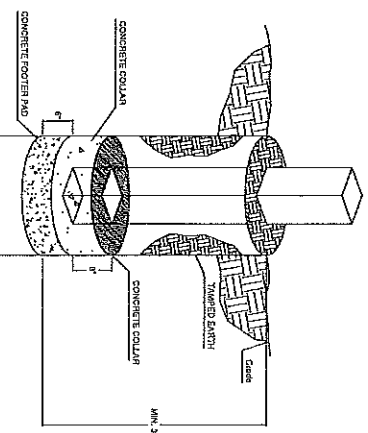
SHEET: POLE PLAN

24X24X10'-4"

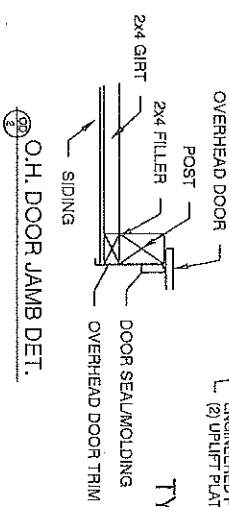
Job Number:

MURRAY-1

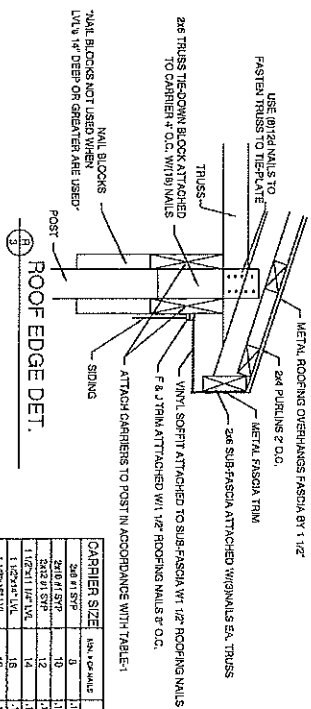
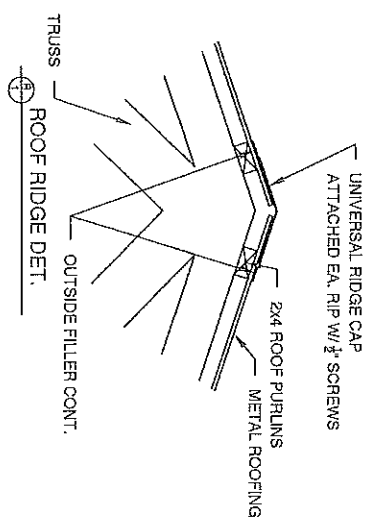
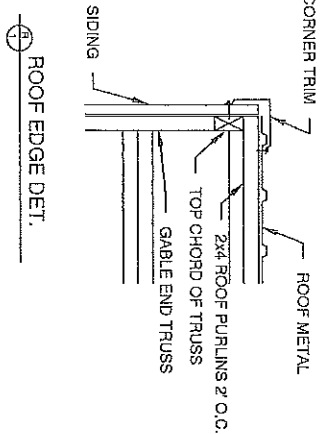
CREATED BY:



A cross-sectional diagram of a door assembly. The diagram shows a door frame with a door panel. Labels with leader lines point to various components: 'SIDING' points to the exterior wall; '2x6 BLOCKING CONT.' points to a vertical support block; 'OVERHEAD DOOR TRIM' points to the trim on the left side of the door; 'DOOR SEAL/MOLDING' points to the seal at the bottom of the door; 'OVERHEAD DOOR' points to the door panel; '2x6 HEADER' points to the horizontal support above the door; and 'POST - BEYOND' points to a vertical post on the right side of the door.



COLLAR DETAIL



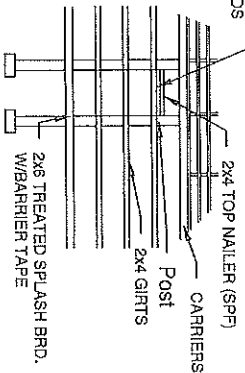
CARPENTER SIZE		IN. x FT. PANELS	NO. OF PANELS PER SQ. FOOTING
2x6 #1 STR.	8	1x12/8x12	120
2x10 #1 STR.	10	1x12/8x12	120
2x12 #1 STR.	12	1x12/8x12	120
1x12x11 1/2 LVL.	14	1x12/8x12	120
1x12x14 LVL.	15	1x12/8x12	120
1x12x16 LVL.	16	1x12/8x12	120
1x12x18 LVL.	18	1x12/8x12	120

Revisions:

PPB, Inc. Pioneer Pole Buildings, Inc. 716 South Rt. 183 Schuylkill Haven, PA 17972 1-800-448-2505 Toll Free		JOB SITE ADDRESS: SAME		CUSTOMER ADDRESS: WILLIAM MURPHY 200 E. MAIN STREET BERRYVILLE, VA 22611 703-209-5085	
James A. Koppertwever, P.E. President, PPB info@ppbinc.com info@ppbinc.com		DATE: 8-13-10		SHEET: Detail A	
DRAWN BY: HEIDI KLOCK		DATE: 8-13-10		SHEET: Detail A	
CHECKED BY: MURRAY-1		DATE: 8-13-10		SHEET: Detail A	

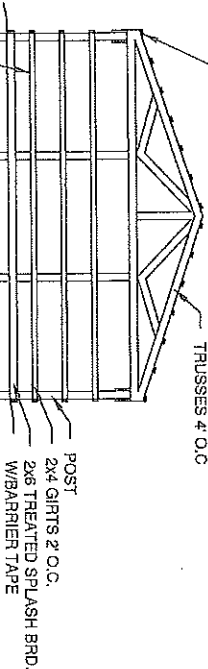
Contract # 349637-003

REMOVE THIS SECTION OF GIRTS
AFTER ATTACHING TO JACK STUDS



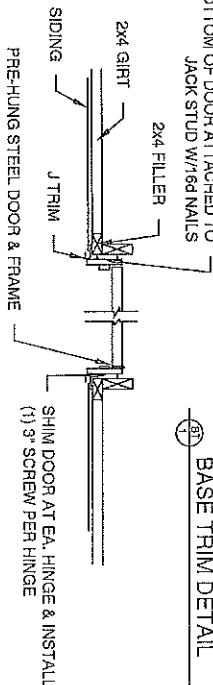
SERVICE DOOR FRAMING DET.

2x4 PURLINS 2' O.C. - USE (3) 12BX3 1/4" LG. (120 SHANK DIA.) NAILS
TO FASTEN ROOF PURLIN TO TRUSSES AT EACH PURLIN-TO-TRUSS INTERSECTION POINT



GABLE VIEW DETAIL

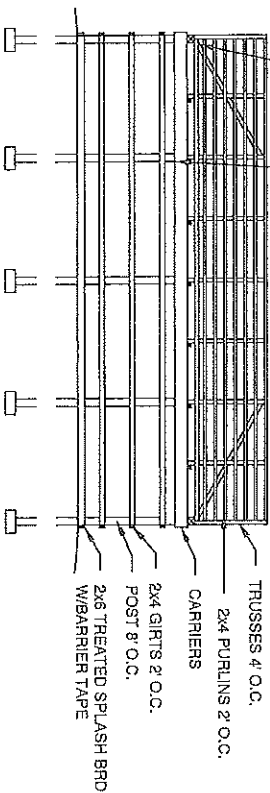
SHIM DOOR AT KNOBS & 6" FROM TOP
& BOTTOM OF DOOR ATTACHED TO
JACK STUD W/16d NAILS



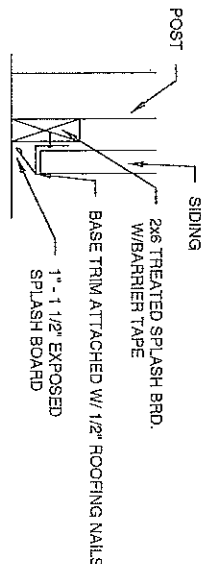
SERVICE DOOR JAMB DET.

2x4 ROOF DIAGONAL BRACES
(ADD. TRUSS BRACING AS PER MAN. SPECS MAY BE NEEDED)

POST FRAME CARRIERS SHALL BE TWO-SPAN CONTINUOUS BEAMS
STAGGER CARRIER BUTT JOINTS SO THAT BUTT JOINT OF BOTH
SPANS DO NOT OCCUR AT SAME POST.



EAVE VIEW DETAIL



BASE TRIM DETAIL

Revisions:

PPB, Inc.		CUSTOMER ADDRESS:		DATE:	
Pioneer Pole Buildings, Inc.		WILLIAM MURPHY		8-13-18	
716 South Rt. 183		200 E. MAIN STREET		SHEET: Detail B	
Schuylkill Haven, PA 17972		BERRYVILLE, VA 22611		BUILDING SIZE: 24X24X10'-4"	
ALL RIGHTS RESERVED BY PIONEER POLE BUILDINGS, INC. NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN		DRAWN BY: JENNIFER A. KOPPELWITZ, P.E.		JOB Number: NMI10DAV 4	
		703-209-5065			

General Notes:

Foundations:

- Bottom of all exterior footings shall be minimum of 3'-0" below finished grade. Minimum size 6" high x 16" round or as noted.
- Assumed design soil bearing pressure = 2,000 PSF U.N.O.
- Minimum concrete footing strength to be 3,500 PSI at 28 days.

Metal Cladding:

- Steel siding and roofing panels shall be fabricated from 27 & 28 gauge, grade e 180 PSI structural quality steel conforming to ASTM A-446 with a hot dipped galvanized coating conforming to ASTM A-525 or with an aluminum-zinc alloy coating conforming to ASTM A-792 (plan products only).

- Part Finish: All panels when required shall receive a factory applied polyester coating conforming to the manufacturer's specifications.

- Flashings: All flashings shall be shop fabricated from material that is the same gauge and finish as the wall/roof panels to which they are attached.

- Closures: Shall be pre-molded neoprene to match the configuration of the wall/roof panel and shall be in lengths as supplied by the panel manufacturer.

- Fasteners: All screw fasteners shall have a combination steel and neoprene washer. Nails shall have a Fiberglass washer or equivalent. Fastener selection and installation shall be as recommended by the cladding manufacturer.

Wood Trusses:

- Trusses are to be designed and fabricated in accordance with the published standards of the National Forest Products Association and the Truss Plate Institute's Design Specifications for Light, Metal Plate Connected Wood Trusses (TFP-XD) latest Edition.

- The web configuration plate sizes, chord sizes and lateral bracing shall be designed by a licensed professional engineer. The truss manufacturer shall provide the contractor with shop drawings of each truss design bearing the engineer's seal. Shop drawings shall be approved by the contractor before fabrication.

- All trusses shall be designed for the loading, spacing and geometry shown on the plan.

- The contractor shall install the bracing of the wood trusses in accordance with the manufacturer's design. Minimum lateral bracing of web and bottom chord members shall be as required by truss design.

Lumber:

- All lumber shall comply to the requirements of the American Institute of Timber Construction and the National Forest Products Association's National Design Specification for Wood Construction.

- All lumber for posts and beams shall be #2 or better southern yellow pine grade stamped by a SPIB approved mill, surfaced at a maximum moisture content of 19% treated .5 pct ACO, .23 pct MCA or equal.

- All lumber for headers shall be MSR grade stamped by a SPIB approved mill, surfaced at a maximum moisture content of 19%.

- All lumber exposed to ground contact or insect infestation shall be treated according to the American Wood Preservers' Association Standards, .6 pct ACO, .15 pct MCA or equal.

Connections:

- All wood connection to be made according to the "National Design Specification for Wood Construction". The minimum connection to be two 12 penny nails. Other connection as per plan or as controlled by standard construction practices.

- It is acceptable for 2x4 wind girt spacing to vary from 18" to 30", when the span of the girt is 10' or less. Horizontal spacing of fasteners for the metal wall panels shall be in accordance with the panel manufacturer's instructions. The wind girt spacing up to 30' conforms to the rigid diaphragm design for post frame walls.

Cautionary Notes:

- Structural components such as posts, beams, trusses or fasteners and attachment brackets should NOT be modified, notched or cut in any manner without proper review and approval of the building design professional.
- Rainwater and melt water should be directed away from post foundation locations.
- On enclosed buildings with large doors (that is buildings designed as completely enclosed) the doors should be closed during periods high wind and/or stormy weather to reduce uplift forces on the building.
- Do NOT lean heavy materials against posts or girts unless the building has been designed for those types of loads. Do NOT store loose material against walls unless building has been designed for side thrust loads and any moisture contained in the loose materials.
- Do NOT use the roof trusses for storing material unless the building and roof trusses have been designed for those loads.
- Concentrated loads such as ceiling-mounted furnaces, wet sprayer systems, ventilation hoods, etc. SHALL NOT be attached to the roof trusses without the prior review and written approval of Pioneer Pole Buildings, Inc. and the building design professional.
- Do NOT install hardware that would maintain snow cover on the roof of buildings.
- Do NOT attach additional buildings or lean-to enclosed areas to pole barn buildings unless the building has been designed for the additional loads created by these building additions.
- Door openings should NOT be added to the building walls after the building has been constructed without review and approval of the building design professional.

Misc. Notes:

These plans are designed in accordance with the 2012 IBC Construction Class VB

TRUSS CARRIERS USED TO BE EQUAL TO OR BETTER THAN 2x8 MSR

HURRICANE TIES USED = RT 6A (USP CONNECTORS)
COBRA RIDGE VENT

ALL RIGHTS RESERVED BY PIONEER POLE BUILDINGS, INC. NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

Revisions:

This structure is designed using the following loads:			
Fixed Loads:			
Dead (psf) = 30			
Live (psf) = 10			
Truss Loads:			
Top Chord Live (psf) = 30			
Top Chord Dead (psf) = 5			
Bottom Chord Live (psf) = 0			
Bottom Chord Dead (psf) = 5			

PPB, Inc. Pioneer Pole Buildings, Inc. 716 South Rt. 183 Schuylkill Haven, PA 17972 1-888-448-2505 Toll Free		JOB SITE ADDRESS: SAME		CUSTOMER ADDRESS: WILLIAM MURPHY 200 E. MAIN STREET BERRYVILLE, VA 22811 703-209-5085	
James A. Koppertreiber, P.E. 201 Light Avenue 48434-4400 HUNTSVILLE, AL 35894		DATE: 8-13-18 SHEET: 24X24X10'-4" NOTES:		DRAWN BY: JAB CHECKED BY: MURRAY-1	







Darren Ridgeway of Ridgeway's Autobody requests a Certificate of Appropriateness for a double-sided free-standing internally lit sign, a wall sign, and a window sign at 15 & 19 North Buckmarsh Street, identified as Tax Map Parcels 14A1-((A))-53 & 54, zoned C General Commercial.

Mr. Ridgeway requests approval of the following signs:

- Free-standing – request is to replace the 48" x 72" faces on the existing free-standing sign. The generic "Body Shop" sign would remain.
- Wall sign – request to install a 120" x 90" on the front building façade of 15 North Buckmarsh Street
- Window sign – request to install a 40" x 30" vinyl window sign on the center widow on the front of 15 North Buckmarsh Street

Please find attached color renderings of the proposed signs.

TOWN OF BERRYVILLE

101 CHALMERS COURT, SUITE A * BERRYVILLE VA 22611
Phone (540) 955-4081 * Fax (540) 955-4524 - E-mail: planner@berryvilleva.gov

HISTORIC DISTRICT SIGN PERMIT APPLICATION

Please Note: This is an application only. The permit will be issued only if approved by the Zoning Administrator and after review and recommendation from the Architectural Review Board.

To be completed by Applicant: Date 9/4, 20 18
Applicant's Name: Darren Ridgeway
Name of business for which the signage is being requested: Ridgeway's Auto body
Applicant's Address: 15N & 19N Buck Marsh
Telephone Number: [REDACTED] E-mail: Ridgeway Solutions LLC@gmail
Property Owner's Name: Brett Ridgeway
Property Owner's Address: 12038 Axline Rd, Lovettsville, VA

Application is hereby made for a permit to erect () or remodel (☒) a sign as described below:

Total # of Requested Signs: 3 Fee: 0

Please include a copy of the following information for each sign requested:

Scale color illustration of the sign, indicating the material, dimensions (including square footage), the location of the sign (including minimum 8'-6" above all sidewalks or rights-of-way for projecting signs), type of sign (freestanding, hanging, wall, etc.) and method of mounting

Color chips if applicable

Illustration and details of the proposed illumination, if any

Sign Company/Telephone: Quail Run Signs, 540-338-8412 x102

Signature of Applicant: [Signature]

TO BE COMPLETED BY ZONING ADMINISTRATOR

Street Address: _____

Tax Map #: _____

Zoning Designation: _____

Applicable Regulations: _____

Other Conditions: _____

This Sign Permit is approved () denied () for the sign described on the property indicated above. If denied, for the following reason(s): _____

Signature of Zoning Administrator: _____

TOWN OF BERRYVILLE

101 CHALMERS COURT, SUITE A * BERRYVILLE VA 22611
Phone (540) 955-4081 * Fax (540) 955-4524 - E-mail: planner@berryvilleva.gov

ARCHITECTURAL REVIEW BOARD APPLICATION

Please note: This is an application only. The permit will be issued only if approved by the Zoning Administrator and after review and recommendation from the Architectural Review Board.

To be completed by Applicant:

Date 9/4, 2018

Applicant's Name: Darren Ridgeway

Company/Organization: Ridgeway's Autobody

Applicant's Address: 15N + 19N Buck Marsh

Telephone Number [REDACTED] e-mail: RidgewaySolutions LLC@gmail.com

As the _____ legal owner _____ legal representative of the owner of the property for which this application is being made, I hereby grant my permission to the applicant to apply to the Architectural Review Board. I am familiar with the project and permit the applicant to complete any necessary work for which this application is being submitted.

Property Owner's Signature: [Signature]

Property Owner's Address: 12038 Axhite Rd, Lovettsville Telephone: _____

Project Location: 15N. Buckmarsh St Use: _____ Zoning: _____
District: _____

Project Type (check all that apply)

☐ New Construction:

Primary Structure (house, commercial building)

Secondary Structure (shed, garage)

☐ Addition to an existing structure:

Primary structure (house, commercial building)

Secondary structure (shed, garage)

☐ Alterations to an existing structure.

☐ Demolition of an existing structure.

☐ Amendments to a previously approved application.

Please describe the request of the application: Sign reface on lit pylon sign, wall mounted & vinyl on front windows

(OVER)

Submittals

- ☐ Drawings – six (6) scale copies of elevations of proposed structures or modifications.
- ☐ Site Plan – six (6) scale copies of site modifications including building footprints, fence locations, and walkway locations.
- ☐ Material/color samples or illustrations as applicable including but not limited to cut sheets of new windows, doors, roof materials (shingles, standing seam metal, etc.), and outdoor lighting fixtures.
- ☐ Photographs of existing structure (if applicable) and site conditions.
- ☐ For a demolition project, please submit photographs depicting all elevations of the building proposed for demolition, any post-demolition plans for the site, and, if applicable, any information on new construction proposed for the site.
- ☐ Any additional information deemed necessary by Planning Department staff.

Signature of Applicant: _____

Date: 9/4/18

TO BE COMPLETED BY ZONING ADMINISTRATOR

Street Address: _____

Tax Map #: _____

Zoning Designation: _____

Applicable Regulations: _____

Other Conditions: _____

This Sign Permit is approved () denied () for the sign described on the property indicated above. If denied, for the following reason(s): _____

Signature of Zoning Administrator: _____



540-229-2892
RIDGEWAYS AUTOBODY.COM

15 N. BUCKMARSH ST



47'-1/2" w x 71'-3/4" h
 qty. 2, 1-sided
 1/8" thick white opaque acrylic
 with applied vinyl as proposed
 in existing lit pylon structure (reface).

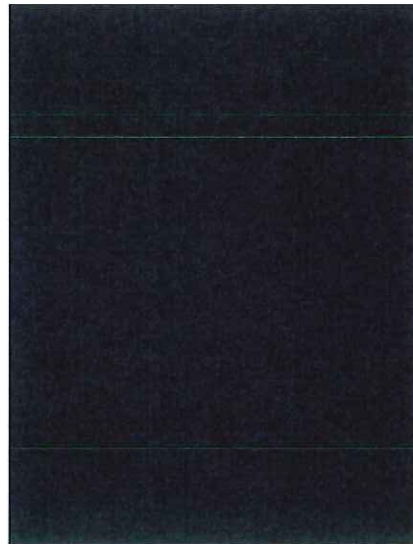


43 E Colonial Hwy • Hamilton, VA 20158
 phone (540) 338-8412 • fax (540) 572-4677

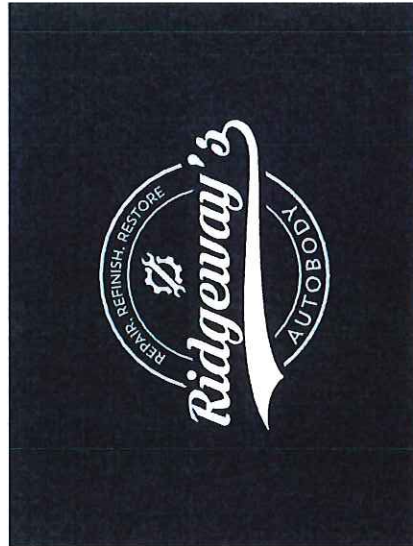
CUSTOMER: Ridgeway's Autobody
 ADDRESS: 15 N Buckmarsh St
 CITY: Berryville
 STATE: VA
 DATE: August 23, 2018



120" w x 90" h
1-sided
2 layer painted sign
DiBond and painted
acrylic
Wall mounted

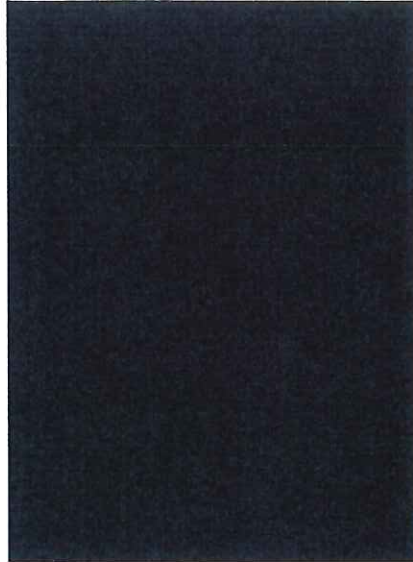


Window Size: 99" w x 76" h



Window Size: 100" w x 76" h = 52.7 sf
White vinyl: 40" w x 30" h = 8.3 sf

approx 15%



Window Size: 103" w x 76" h



43 E Colonial Hwy • Hamilton, VA 20158
phone (540) 338-8412 • fax (540) 572-4677

CUSTOMER: Ridgeway's Autobody
ADDRESS: 15 N Buckmarsh St
CITY: Berryville
STATE: VA
DATE: August 23, 2018



COLORS



PANTONE Cool Gray 8C



C 49.03
M 40.15
Y 38.09
K 3.56



R 137
G 138
B 141
#898a8d



PANTONE 2728C



C 95.6
M 77.94
Y 0
K 0



R 29
G 81
B 163
#1d51a3

FONT

Krinkes Regular

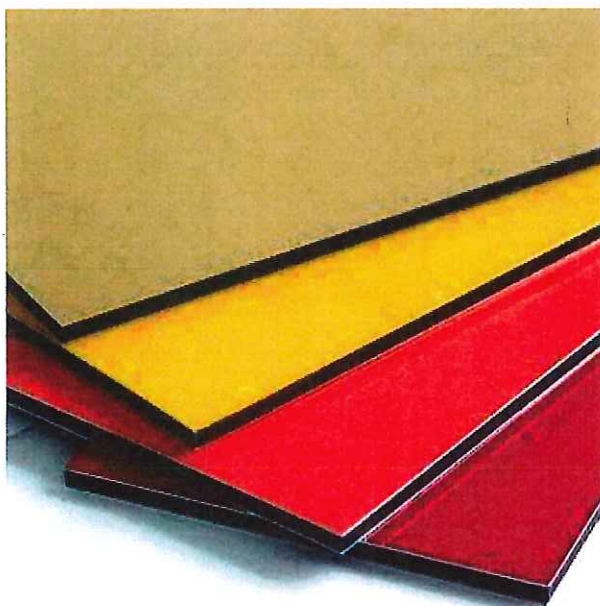
Ridgeway's

Trend Sans One

REPAIR, REFINISH, RESTORE
AUTOBODY

Material Information Sheet –

Aluminium Composite Panel (Dibond®, Alupanel®, Reynobond®)



Description

Aluminium composite panel material (ACP) is formed by laminating a central core of thermoplastic material with an outer skin of aluminium sheet. The process bonds the aluminium to the central core in such a way that the resultant panel is exceptionally rigid and dimensionally stable for its weight.

The material is generally supplied with an Aluminium finish but is also available coated with a hard-wearing polyester film in a variety of primary colours.

Other important characteristics of ACP are:-

- Smooth surface finish
- Excellent impact resistance
- Outstanding weather resistance
- Class 0/Class 1 fire retardant
- Excellent dimensional stability
- Erosion resistant
- Exceptionally rigid against comparable traditional sign materials

Rigidity

A comparison of the rigidity of various sheet materials indicates that ACP sheet is equivalent to:-

ACP – 3mm	Aluminium – 2.4mm	Foamex® – 11.1mm	Acrylic – 6.8mm
$1m^2 = 3.8kg$	$1m^2 = 6.5kg$	$1m^2 = 5.6kg$	$1m^2 = 8.2kg$

ACP offers an exceptionally lightweight and extremely rigid solution against many conventional sign-making materials.

Applications in Sign-making

ACP is traditionally used for large mid-long-term signage where exceptional rigidity is required whilst maintaining an overall light structure. ACP can also be formed and bonded in a similar fashion to other composite materials to produce a variety of shapes and constructions.

The lightness and rigidity of ACP and the ease in which it can be cut and machined makes it comparatively easy to install.

It is particularly suited to printing using a variety of techniques (such as wide-format digital printing, screen printing etc.). ACP can also be readily engraved.

Special Grades

ACP can be supplied in a variety of formulated grades for specific applications:-

- High-performance construction grade with 20 year product warrant (also available fire retardant)
- Alternative finishes – Timber, granite, metallics
-

Physical Properties (Typical)

The data are typical values and are not intended to represent specifications. Their aim is to guide the user towards a material choice. All statements, technical information and recommendation in this product data sheet are presented in good faith, based upon test believed to be reliable and practical experience. However, Bay Plastics Ltd cannot guarantee the accuracy or completeness of this information, and it is the buyer's responsibility to determine the suitability of products in any given application. Therefore no liability whatsoever shall attach to Clarity Sign and Design limited for any infringement of the rights owned or controlled by a third party in intellectual, industrial or other property by reason of application, processing or use of the aforementioned information or products by the buyer.

Property	Unit	Test Method	Value
Weight per sqm 2mm/3mm/4mm	KG	-	2.8/3.8/4.75
Thermal Expansion	Mm/m @ 100°C variance	-	2.4
Modulus of elasticity in tension	MPa	-	2400
Impact strength	Kg/cm ²	-	50
Service temperatures	°C	-	-50°C to +90°C
Water absorption by volume	%	-	0.01
Fire Performance	-	-	Class 1 (BS476 Pt7) & Class 0 (BS476 pt6&7)

Availability

ACP is commonly supplied in sheet form in thicknesses of 2, 3 and 4mm. It is available in a range of colours:-

Silver 9006		Silver Mirror		Brushed Aluminium	
Brushed Copper		Brushed Gold		Brushed Copper Gold	
Gold Mirror Milled		Bronze Metallic		Brushed Black	
Pure White		Platinum White 9016		Light Ivory 1015	
Ultra Marine Blue 5002		Blue 5022		Green 6005	
Traffic Green 6024		Traffic Red 3020		Burgundy Red 3004	
Orange 2004		Traffic Yellow 1023		Traffic Grey 7042	
Anthracite Grey 7016		Chocolate 8011		Jet Black 9005	

Further information

For further information contact:-

Clarity Sign and Design Limited
Innovation Centre
1, Evolution Park
Haslingden Road
Blackburn, Lancashire
BB1 2FD

T: 01254 915 042
F: 01254 898 849
W: www.claritysigns.co.uk

The County of Clarke requests that the Architectural Review Board review and provide comment on benches that it proposes to install at 104 North Church Street, identified as Tax Map Parcel 14A2-((A))-66, zoned C General Commercial.

Clarke County proposes to install two black metal benches on both sides of the walkway leading from the sidewalk on North Church Street to the Courthouse stairs.

Please find attached a photo of the bench and photos of the front of 104 North Church Street.

The County is seeking any input or guidance the Board has on this matter before committing to a purchase.



Shown in Black

BENCH 58

58-60 6' long, 2 supports, 300 lbs. \$1,080

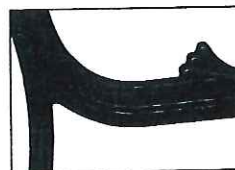
58-80 8' long, 2 supports, 361 lbs. \$1,250

Add to unit price for center armrest \$80

• Comfortable, contoured strap seat frame



Cast center armrest



Optional custom lettering

